



“a place where **nature**, thoughtful **design**
and **community values** combine to support
the **wellbeing** of the whole community”

Design Guidelines



Contents

1 Introduction	3
1.1 <i>Design Integrity</i>	3
1.2 <i>Design Responsibility</i>	4
1.3 <i>Project Design Vision and Character</i>	5
1.4 <i>Home Design Principles</i>	7
1.5 <i>Design Guidelines</i>	11
1.6 <i>Design Team</i>	12
1.7 <i>Building Envelope Plan (BEP)</i>	13
1.8 <i>Engineering for your allotment</i>	14
2 Obtaining Approval for your Home	15
2.1 <i>Compliance with Building Legislation</i>	15
2.2 <i>Building Works that Require Approval</i>	15
2.3 <i>The Process To Obtain Your Development Approval</i>	16
3 Siting and Land Division	17
3.1 <i>Site Setbacks</i>	17
3.2 <i>Land Division</i>	18
4 Roof Form and Height	19
4.1 <i>Roof Form & Eaves</i>	19
4.2 <i>Ceiling Heights</i>	20
5 Siteworks	21
5.1 <i>Cut and Fill</i>	21
5.2 <i>Retaining Walls</i>	22
6 Street Appeal	25
6.1 <i>Home Facade</i>	25
6.2 <i>Corner Allotments</i>	27
6.3 <i>Window and Door Openings</i>	28
6.4 <i>External Materials and Finishes</i>	29
6.5 <i>Boutique allotments (frontage width of 13m or less)</i>	30
7 Garages and Driveways	31
7.1 <i>Garage / Carport</i>	31
7.2 <i>Driveway and Crossovers</i>	32
8 Landscaping	33
8.1 <i>Front Garden Landscaping</i>	33
8.2 <i>Front Verges</i>	35
9 Fencing & Gates	36
9.1 <i>Boundary Adjoining</i>	36
9.2 <i>Letterbox</i>	37
9.3 <i>Boundary Adjoining a Neighbour or Reserve</i>	38
9.4 <i>Corner Allotments Adjoining a Street Frontage</i>	39
10 Outdoor Space	40
10.1 <i>Private Open Space (POS)</i>	40
10.2 <i>Easements</i>	41
10.3 <i>Outbuildings</i>	41
11 Privacy	42
11.1 <i>Overlooking</i>	42
12 Services	43
12.1 <i>Services For Home</i>	43
13 Connections	44
13.1 <i>National Broadband Network (NBN)</i>	44

1 | Introduction



Best Residential Development UDIA SA 2020 Award Winner



1.1 Design Integrity

Burke Urban has put a great deal of thought and care in to the Newenham Masterplan and Vision to ensure the project feels like a natural extension of other townships in the Adelaide Hills and sets a new benchmark for urban development in Mount Barker. As a result, Newenham has become a place where nature, thoughtful design and community values combine to support the wellbeing of the whole community.

Many people visit Newenham and state that “it just feels right”; this is no accident. The effort and patience Burke Urban has put into the planning and delivery of this development, including the implementation and management of the Design Guidelines, supported by the time and effort that Newenham residents have put into their house and landscaping design’s so far, has helped this vision come to life.

To help this vision continue to be realised, we would like to see the same level of care and consideration reflected in your house design to ensure the investment you make at Newenham gives you the best opportunity to create your dream home, whilst also leveraging the opportunity for capital growth.

The focus on implementation of the Design Vision is one of the key reasons why Newenham is experiencing strong growth and was awarded the Best Residential Development in South Australia in the 2020, UDIA South Australian Awards and a Finalist in the 2020 UDIA National Awards.



1.2 Design Responsibility

The current land sits in an aspirational location in Newenham. The land sits high on the hilltop with beautiful natural characteristics including stunning Adelaide Hills topography, affording these blocks magnificent views over rolling hills, surrounded by the shade of significant old, majestic, and cooling gum trees positioned in amongst extensive reserves. This land represents Adelaide Hills living at its finest.

The aim is to not only support the fantastic design vision that was established in the first stages of Newenham but to extend this vision and take it to a new level.

Burke Urban is encouraging purchasers in this beautiful part of Newenham to thoroughly review and understand the Design Guidelines in the hope that the design of homes may become exemplars of the Newenham project vision and character.



1.3 Project Design Vision and Character

Our objective is for Newenham to feel like a natural extension of the Adelaide Hills; where every element of the project, including the individual homes are designed with community wellbeing in mind. Crucially we want Newenham to exude a natural, effortless and country-like beauty, without the harsh urban edge that often creeps in to new greenfield developments of this nature.

“Rome was not built in a day”, and Newenham won’t be either, but the framework developed now by both Burke Urban and each individual resident of Newnham should work towards achieving this outcome.

Burke Urban’s research shows that desirable Adelaide Hills towns like Stirling, Aldgate, Echunga and Littlehampton are characterised by very large allotments, leafy streetscapes, and abundant landscaping in the public and private space. Many homes in the region are architecturally designed, incorporate natural materials in their structures, and include large verandas, eaves and decks or large outdoor entertaining spaces. Most homes embrace the slope of the land, and harsh retaining walls are not often seen from the street. The homes are often finished off with a country style or natural form of front fencing. Some of these towns are now amongst the most desirable places to live in Australia and we want Newenham to become one of these places too.

Burke Urban is committed to creating this Adelaide Hills vision and a sense of wellbeing at Newenham. One of the most significant contributions to this vision is the larger allotment sizes being delivered throughout the community.

Amongst many other things we are also planting an enormous number of trees and shrubs in street verges and reserves. These plants take time to establish and require watering, care and love from the community to ensure they become well established and thrive and grow long into the future. This will contribute enormously towards helping the community realise this noble vision and it is expected that in time these trees will create a gentle and harmonious environment.

Newenham's focus on preservation and restoration of character buildings such as the Newenham Sales Office, and its associated Garage and Barn, and soon the original Newenham Homestead, are also testament to Burke Urban's care for this design vision.

The design of new buildings including Kings Baptist Grammar School, X-Convenience Service Station and the future neighbourhood retail centre will exude a contemporary country style of architecture, borrowing from the architectural form of the Australian country shed or barn, and the country cottage and homestead often seen throughout the Adelaide Hills.

Extended Linear Park trails, retention of 95% of the trees on the site and the design of wider and interesting roads following the contours of the land have been a strong focus of the masterplan. Newenham Parade which follows the natural curvature of the Western Flat Creek, and incorporates award-winning sensitive water management planning, are amongst a few initiatives which reflect Newenham's commitment to being a place Designed for Wellbeing in the Adelaide Hills.



1.4 Home Design Principles

We require each resident to contribute their part to delivering the Project Design Vision. We acknowledge this Design Vision is subjective, however it does not reduce its importance. As such we have prepared a series of Design Principles which are important considerations when working through your home design and underpin the minimum requirements and recommendations set out in the Design Guidelines.

Home design is iterative and can involve a lot of back and forth and review between the home owner, designer, builder and assessment team to ensure that a great outcome is achieved. The Newenham Design Team is prepared to go through this process to get a quality outcome for the project, but at the end of the process, where a standard 'off-the-shelf' home design does not meet the requirements of the Design Guidelines or a design falls outside of the requirements of the Design Guidelines because it is architecturally or custom designed, then the Design Team has the authority to refer back to the Design Principles to consider the merit of the design in the context of the Newenham Project Vision, and may then in its absolute discretion, choose to approve or reject features of the design, or approve or reject the design in its absolute entirety.

Design Principles:

1. Work with the land

Every home design should start with consideration of its location and the land's unique features. Designing a home that maximises the potential of your site and takes advantage of environmental factors such as topography, orientation, solar access, summer breezes, winter light, existing trees, easements and setbacks are important considerations to help support the opportunity for wellness and create a sustainable Adelaide Hills lifestyle. As a bare minimum, Newenham expects homes to be considerate of the land and the site's natural features. Minimising the disruption to the land through excessive benching and retaining on sloping allotments is one important focus at Newenham.

2. Timeless Design

At Newenham we want your home to outlast design trends and stand out for all the right reasons; because it has a sense of something eternal and feels like it is simply right for the place it is built in. In other words, the home should feel like it belongs exactly where it is, harmonious with its environment and responsive to its surroundings and site features. The home should be thoughtful and functional for the way your family and others will live in it well into the future. The home should weather well over time, be loved across generations and be a saleable asset because it is loved and appreciated by many.

3. Architecture that Respects its Context, Culture and Climate

In general, Newenham's Design Vision takes cues from the Australian Homestead or Barn, as characterised by the historic structures of the Newenham Sales Office precinct and the original Newenham Homestead. Both traditional and more contemporary expressions of this architectural form are welcomed, and other architectural interpretations or expressions will be considered if they are designed to be in harmony with their surroundings and environment.

4. Care for the Natural Environment

We encourage you to work with designers and builders who recognise the interdependence of the natural and built environments and look to minimise use of energy, water and other natural resources to promote healthy living environments and wellbeing for the Newenham community. These initiatives can help to extend the life cycle of the building, reducing the carbon footprint of your home, conserve resources and minimise waste and reduce electricity and water bills over time.

5. Love for Trees

Caring for significant trees on your block and in the surrounding areas, including in public verges and reserves, is fundamental to preserving and further building wellbeing and an Adelaide Hills Character. We encourage you to consider tree planting along fence lines and boundaries and growing living front fences to create a sea of green and beautiful seasonal colour for decades to come! Trees provide shade in the harsh Australian Summer and help create a more gentle, calming and liveable place. Use trees in your home's design story to frame views, create dappled light or to provide usable outdoor living areas.



6. Harmonious Material Palettes

A home's material palette should place the building in harmony with its place and environment. The choice of colors, textures, and materials can camouflage a home into its surroundings or highlight colors of nearby flora, vegetation, or rock formations. The materials and methods of construction should be able to weather decay, which is why Newenham encourages use of natural materials such as real stone and wood, because they reflect their surroundings and because the materials are resilient and can remain unchanged for generations. Balancing these materials with quality brick, concrete, fabricated iron, and some rendered masonry can soften an otherwise harsh urban design.

7. Home Balance - Scale, Proportion and Rhythm

Newenham believes that one aspect of quality home design is about getting the balance of the detailing of a home correct so that it 'just feels right'. Certain home designs have characteristics that make them work. Important considerations for your home design are (1) Scale which relates to the size of your home compared to the allotment, neighbouring homes and surrounding features, (2) Proportion which relates to the correct relationship of size and weighting of features of your home's façade compared to each other and (3) Rhythm which considers the correct pattern and grouping of materials and features such as windows and doors.



8. Consideration of neighbours and streetscape

The relationship of a home to its neighbouring properties and the streetscape is another important principle of design. In a new development where homes are being designed off-the-plan, the Design Team and Council Officers assessing the plans may be the only people who understand this relationship as they have the privilege of seeing all designs that are being submitted. Rightly or wrongly home designs that are submitted first will therefore always form precedent for the street. Relativity of homes to each other in terms of size and scale, diversity in styles, colours and material palettes may be important consideration to get the balance and diversity in a streetscape correct. Other considerations such as corner appeal, retaining walls and fencing on boundaries, and the impact of a home on the neighbour's comfort and privacy all must be taken in consideration in the design process.

9. Soft and abundant landscaping

Abundant landscaping and tree planting will play one of the most significant roles in delivering the Newenham vision in years to come. An abundantly landscaped front garden provides unique character and a beautiful, welcoming doorway to your home. Plan early and consider how tiered or battered landscaping may be used to manage the slope on your allotment, rather than using harsh urban retaining walls. Importantly we want you to water and love your planted verge in front of your home too, which is a valuable asset gifted to you through the development process and will add enormous value to Newenham over time if the community care for it.

10. Unique Front Fencing

Front fencing creates a unique character for your home and differentiates it from every other home on the street, particularly in new land developments where people often choose more standardised home designs. Importantly a front fence provides an important delineation between the public and private realm, and a more usable and active space at the front of your home providing for a greater sense of wellbeing. Living fences in the form of hedges, or country styles of fences, albeit with a modern or contemporary edge if that is more suitable, are proving a very important way of delivering Newenham's vision and creating character and diversity in the built environment.

1.5 Design Guidelines



Our guidelines have been prepared to assist you and your builder or designer in creating construction and landscaping designs which are consistent with Newenham's Design Principles and support delivery of the Project Design Vision.

Design Guidelines are just that 'Guidelines'. They tend to be applied more easily and practically to standard building designs rather than architectural designs. Our challenge has been to strike a balance between empowering an individual to show personal design expression, innovation and creativity, without stifling architectural expression. On the flip side, Newenham's Design Guidelines need to allow for enough overarching design parameters to lift the general standard of built-form that is delivered in many standard housing developments and guide a quality design outcome for the whole community.

Important Mandatory Requirements of the Design Guidelines indicate where there is a requirement upon the applicant to deliver on a certain design criterion to be eligible to receive Newenham Design Approval. These minimum Mandatory Requirements are generally considered important to upholding the Newenham Design Vision. The Design Team may accept applications that fall outside of these Mandatory Requirements, based on design merit and measured against the Newenham Design Principles.

In addition to Mandatory Requirements, the Guidelines include Recommended Design Criteria. These Recommendations are also important and should be considered to assist delivering a superior outcome for your home and the project.

In summary:

➤ **Recommended Design Criteria**

Ⓜ **Mandatory Requirements for Design Guidelines Approval**



1.6 Design Team

Burke Urban has an internal Design Team which is empowered to manage and enforce the Design Guidelines and review design applications and make decisions about design on behalf of the project.

The mission of this team is to become your design partner; to work with you and your builder in a cooperative fashion, from the early concept design phase through to final design approval, to achieve high quality design outcomes that are considerate of Newenham's Design Principles and help deliver the overall project Design Vision.

In Burke Urban's experience, where the Newenham Design Team is consulted early in the design process the outcomes for both client and project are better and more seamless for the builder, often saving cost down the track on unnecessary builder variations.

Home design is iterative and can involve a lot of back and forth and review between the home owner, designer, builder and assessment team to ensure that a great outcome is achieved. The Newenham Design Team is prepared to go through this process to get a quality outcome for the project, but at the end of the process, where a standard 'off-the-shelf' home design does not meet the requirements of the Design Guidelines or a design falls outside of the requirements of the Design Guidelines because it is architecturally or custom designed, then the Design Team has the authority to refer back to the Design Principles to consider the merit of the design in the context of the Newenham Project Vision, and may then in its absolute discretion, choose to approve or reject features of the design, or approve or reject the design in its absolute entirety.

The role of the Design Team is not to design your dwelling, but to provide design assistance to ensure that the development addresses the Design Principles and supports the Project Design Vision. Burke Urban accepts no responsibility for the design of the dwelling. Design of the dwelling is the purchaser's responsibility through its builder or architect.

It is important to note that the Design Team's review process is non-statutory and does not constitute regulatory approval. By using the design service, you will potentially expedite your development approval. We expect and encourage innovative building solutions and design. In some instances, these innovative solutions may fall outside the guidelines. Therefore, we reserve the right for the Design Team to accept variations.



1.7 Building Envelope Plan (BEP)

In addition to the Design Guidelines a Building Envelope Plan (BEP) has been prepared for each Stage within Newenham. House and landscaping designs must comply with the setback requirements on the BEP for your allotment. The minimum setbacks may only be achieved if all other mandatory requirements are met ie private open space and site coverage.

Typical information provided on the BEP includes:

- Minimum setback from each boundary for a single and double storey home
- Location for the garage or carport, which determines the location for driveways and crossovers
- Location of easements and/or transformers
- Frontage zones and fencing requirements
- Any other unique design consideration specific to individual allotments.

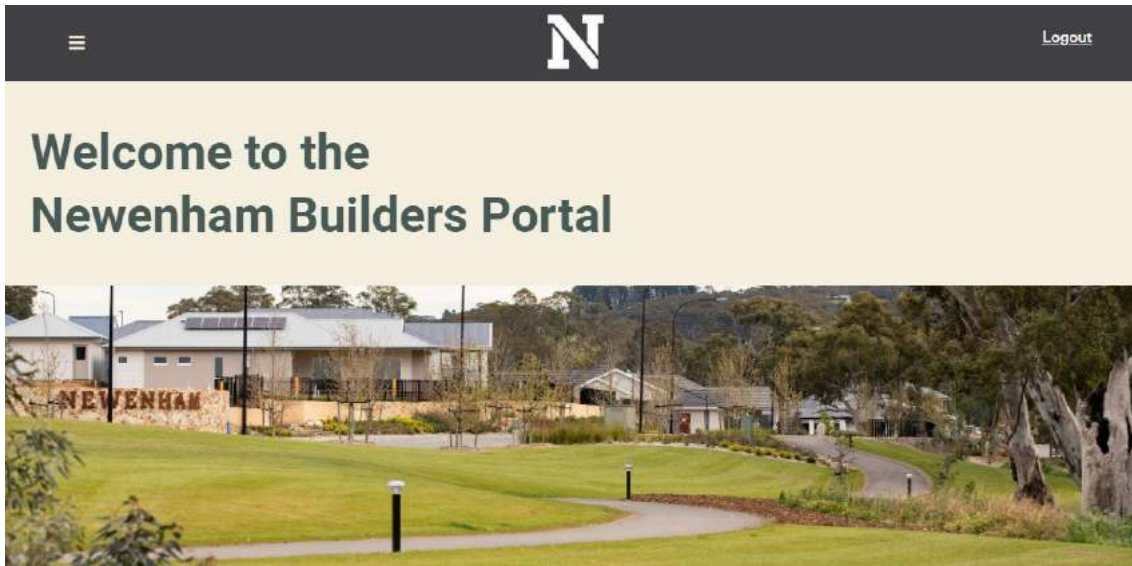
Newenham Owner and Builder Portal

Engineering and other information such as contours, roads, stormwater and services plans in relation to the allotments, will be available once plans have been approved by Council and service authorities.

These “Issued for Construction” plans will be available for you and your Builder or Architect to download from the Newenham Owner and Builder Portal.

Once you have purchased an allotment at Newenham, you will be provided with login information for the Portal.

It is important to note that the plans are subject to change and cannot be relied upon as final. Owners and Builders must undertake their own survey to confirm all services and levels once construction is complete.



1.8 Engineering for your allotment

Engineering and other information such as contours, roads, stormwater and services plans in relation to your allotment, will be available once plans have been approved by Council and service authorities.

These “Issued for Construction” plans will be available for you and your Builder or Architect to download from the Newenham Owner and Builder Portal.

Once you have purchased an allotment at Newenham, you will be provided with login information for the Portal where you will be able to access the plans.

It is important to note that the plans are subject to change and cannot be relied upon as final. Owners and Builders must undertake their own survey, by a licensed surveyor, to confirm all services and levels once civil construction is complete.

2 | Obtaining Approval for your Home



2.1 Compliance with Building Legislation

The Newenham Design Guideline requirements are additional to the District Council of Mount Barker's (council) Planning and Building Consents. It is important to note that meeting the requirements of the Newenham Design Guidelines and receiving approval from Burke Urban does not constitute Development Approval from the Mount Barker District Council. Council's Development Approval comprises both Development Plan Consent (planning consent) and Building Rules Consent (building consent). Once you have received approval from Burke Urban, you must then also seek formal approval from the District Council of Mount Barker before you commence construction.

2.2 Building Works that Require Approval

The following works will require the approval of the Design Team.

- ⋘ Any construction of a new dwelling or associated outbuilding.
- ⋘ Any proposed alterations, additions/extensions to the dwelling or associated outbuilding.
- ⋘ Any construction, alteration or additions to the main dwelling, outbuildings, fencing, retaining wall or driveway.

2.3 The Process To Obtain Your Development Approval

Step 1: Meet With A Member Of The Newenham Design Team

Contact a member of the Design Team once you have preliminary design concepts or even just design ideas for your home, to commence your complementary design partnership service. The Design Team will help you understand how the Design Principles apply to your allotment and if there are any specific provisions, features and opportunities for your allotment and guide you through the design and approval process.

Step 2: Prepare Your Plans With Your Architect, Landscape Designer And/Or Builder

You can now continue or start work with your architect, builder and/or landscape designer to further develop your preferred design, bearing in mind that a member of the Design Team will also be available to liaise with your builder or landscaper throughout the design process.

Step 3: Complete Newenham Design Checklist

When you are satisfied you have a set of complying plans, contact the Newenham Design Team to complete your Design Guidelines checklist. Upon completion of this checklist the Design Team will confirm that your application is approved or advise any areas that require further consideration.

Step 4: Seek Newenham Design Guidelines Approval

Submit an electronic set (in 1:100 at A3) of home and front garden plans (including fencing, driveways and paths), along with material and colour selections, to the Newenham Design Team for approval. Any outstanding or noncomplying items will need to be modified and resubmitted upon advice from the Design Team.

Once your application has been approved by the Design Team, all documents and completed checklist will be signed and stamped as approved. An electronic copy will be emailed to you and your builder so that they can be submitted to the District Council of Mount Barker or sent on for private certification.

Step 5: Seek District Council Of Mount Barker Development Plan Approval

Lodge your stamped documents with council for development approval. As soon as development approval and building rules consent has been granted by council you can commence building your home. Whilst this should not happen, if modifications that conflict with the Newenham Design Guidelines are required to achieve council approvals, the modifications must be resubmitted to the Design Team for approval.

3 | Siting and Land Division



3.1 Site Setbacks

Newenham has designed each allotment to ensure sufficient minimum division between homes. Newenham seeks to create a sense of space and so building on boundary is discouraged. Consideration of greater setbacks, particularly on larger allotments is encouraged.

Outcome



- Ⓜ House and landscaping designs must comply with the setback restrictions on your Building Envelope Plan provided specifically for your site. Alternate setbacks may be approved on merit by the Design Team. See Section 1.7 for further information about Building Envelope Plans (BEP).
- Larger setbacks are encouraged at Newenham, however front setbacks which are greater than the minimum shown on the Building Envelope Plan will need to be considered in relation to the impact on the streetscape and will be assessed on merit by the Design Team.

3.2 Land Division

Intent

Newenham has been designed as an integrated estate with allotments in balance with one another and with utilities and services.

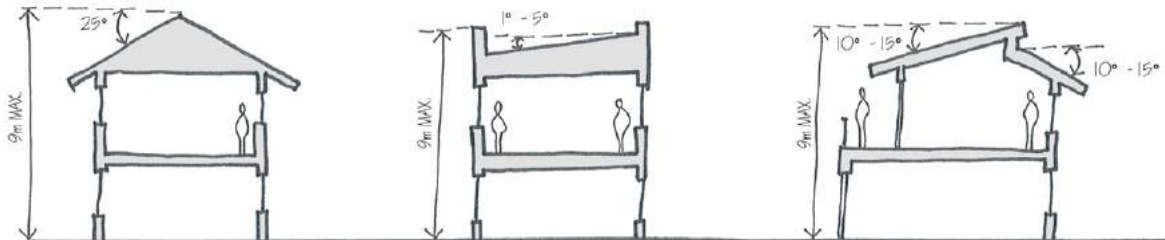
Outcome

-  Further subdivision of individual allotments is prohibited.
-  Minor changes to existing allotment boundaries between individual allotments, where there is no increase in lot numbers or impact on services infrastructure, may be approved at the sole discretion of the Design Team.



Disclaimer: This is a draft plan only, all information is indicative and may change without notice. This plan must not be relied on as definitive reference.

4 | Roof Form and Height



Roof Pitch & Building Height

4.1 Roof Form & Eaves

Intent

To encourage architectural integrity of the roof form compared to the style of the home and consideration of proportionality and materiality of the roof form to the home, the site, neighbouring homes and overall streetscape.

Outcome

- M** Flat roof designs must have a pitch between 1 and 5 degrees.
- M** Skillion roof designs must have a pitch between 10 and 15 degrees.
- M** Hip and gable roof designs must have a minimum pitch of 25 degrees.
- M** Acceptable roof materials are zinc, pre-finished corrugated metal sheets with coloured metal or flat slate profile concrete roof tiles.
- M** Unpainted galvanised iron, highly reflective colours or finishes and white roofs or similar are not acceptable.
- M** Parapets are generally discouraged but may be assessed by the Design Team on merit.
- M** Alternate roof forms, materials and pitches may be considered and approved upon merit at the absolute discretion of the Design Team.
- M** Eaves must be a continuous width around the entire perimeter of the house. Broken eaves or a change in eave width (stepped eaves) will not be permitted
- M** Gutter profiles must match the architectural character of the home and will be assessed on merit by the Design Team.
- >>** Eave detailing on homes with a bullnose veranda or associated with unusual/alternative roof styles, will need to be discussed with the Design Team and assessed upon merit.
- >>** A lesser roof pitch on large allotments with a significant street frontage may be considered at the absolute discretion of the Design Manager.



4.2 Ceiling Heights

Intent

To encourage a sense of grandeur and longevity for a home and to maximise the opportunity for space internally.

Outcome

- Ⓜ Internal floor to ceiling heights of both lower and upper levels are to have a minimum height of 2.7m.
- The building height in relation to a neighbouring property's private open space should be considered so as to limit overshadowing.

5 | Siteworks

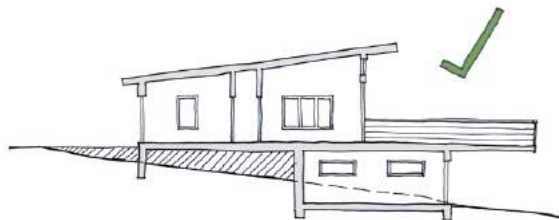
5.1 Cut and Fill

Intent

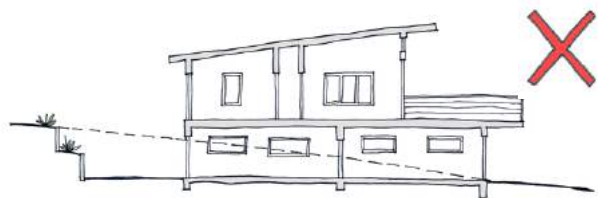
Newenham encourages split level or cantilevered developments, with tiered retaining walls and landscaping, that follow the natural site slope, therefore avoiding excess excavation and monolithic retaining walls which can result in an artificial look from the street and result in a harsher more urban environment.

Outcome

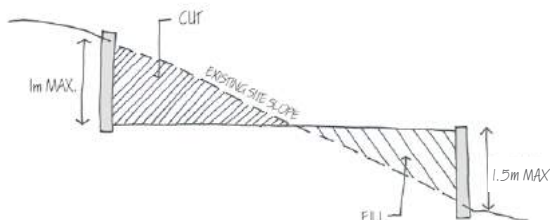
- Ⓜ All construction is to be undertaken to minimise the amount of cut and fill required.
- Ⓜ Cut and fill is to be no greater than 1.5m relative to the existing ground level, wherever possible.
- The construction of split-level buildings which follow the existing slope are preferred for sites with an overall fall of 1.5m or greater across their land.



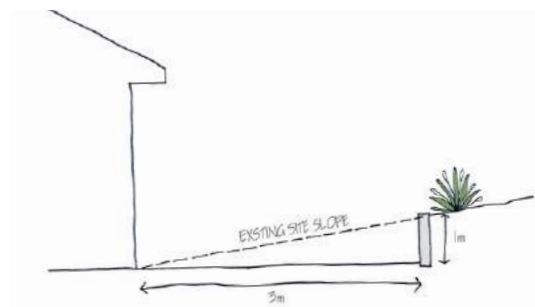
Split Level Construction Following Natural Slope of Site



Split Level Construction NOT Following Natural Slope of Site



Cut and Fill



Split Level Construction Following Embankment

5.2 Retaining Walls

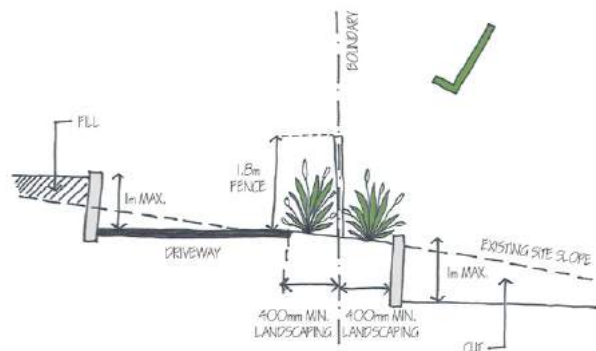
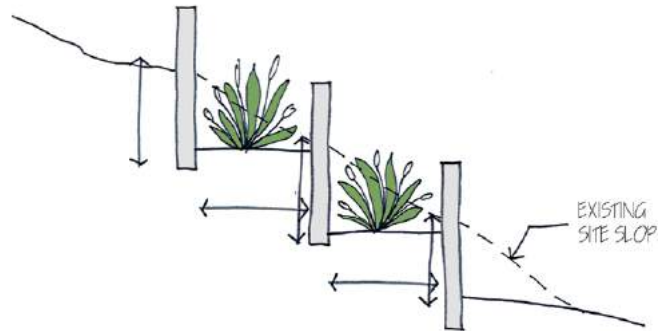
Intent

Newenham aims to minimise excessive use of retaining walls visible from the street, support quality construction and finishes, preserve the Newenham landform and promote positive relationships between neighbouring allotments and the streetscape.

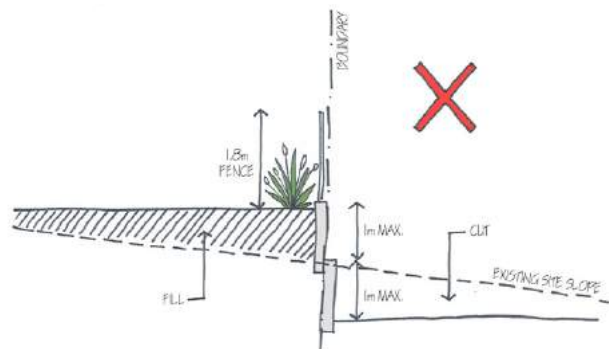
Outcome

Newenham realises the difficulty in retaining between properties with fall and we will try to work with you to achieve the best possible outcome.

Communicating with your neighbour(s) in relation to your site cut and fill and retaining requirements at the boundary is highly recommended to help achieve the best visual outcome, as well as to help save money. It may also help to create a better relationship with your neighbours.



Ideal Retaining Wall Construction Along Boundary When Visible from Street



Problematic Retaining Wall Construction Along Boundary When Visible from Street

- Ⓜ Where the grade of the slope across an allotment is greater than 10%, consultation is required with the Design Team to discuss the proposed cut and fill and retaining wall solutions.
- If retaining walls are required it is recommended that they are not built on any property boundary.
- Ⓜ Where retaining is required on boundary the maximum height of the wall is 1.0m.
- Ⓜ Retaining walls within the allotment may achieve a maximum height of 2.5m provided they are offset from side and rear boundaries by a minimum of 1.0m (refer to Diagram x)
- Ⓜ Retaining walls should not be constructed on top of or next to another retaining wall if viewable from the street.
- Ⓜ Retaining walls on boundaries between your land and a reserve or roadway can include a fence above the retaining wall. This must be to a maximum height of 2.8 meters (1.8m high fence + 1.0m retaining wall).
- Ⓜ Retaining walls must not be built over services pits.
- Ⓜ Retaining walls forward of the building line must be maximum 1.0m height in any one retaining wall. Multiple, tiered retaining walls are permitted forward of the building line provided they are a minimum of 1.0m apart and heavily landscaped to soften their appearance.
- Ⓜ On certain unique allotments, the Building Envelope Plan may prescribe locations and the maximum height of retaining walls and embankments.
- Ⓜ Full details regarding the height, materials and location of retaining walls are required to be submitted for assessment to achieve Encumbrance Approval.
- Ⓜ Any overlooking matters will be assessed wholly by Council.
- Ⓜ Retaining walls must be constructed from the list of acceptable retaining wall materials as depicted in the following diagram

Acceptable Materials for Retaining Walls Visible from Streetscape



Natural Stone



Quarry Rock



Moss Rock



Block Wall

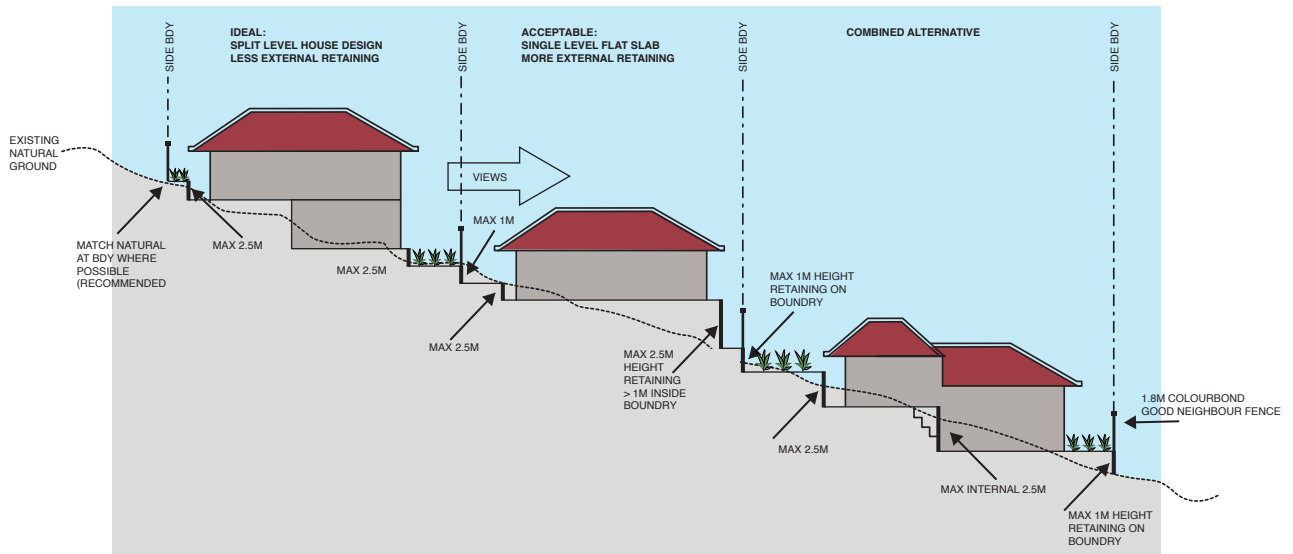


Charcoal Coloured Concrete Sleepers

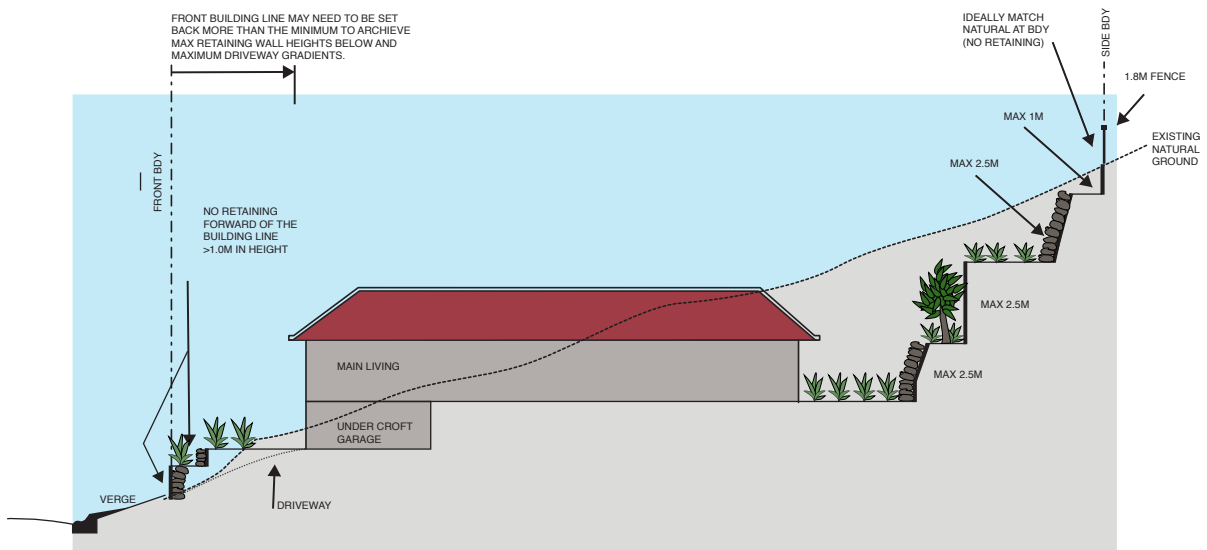


Rendered Masonry

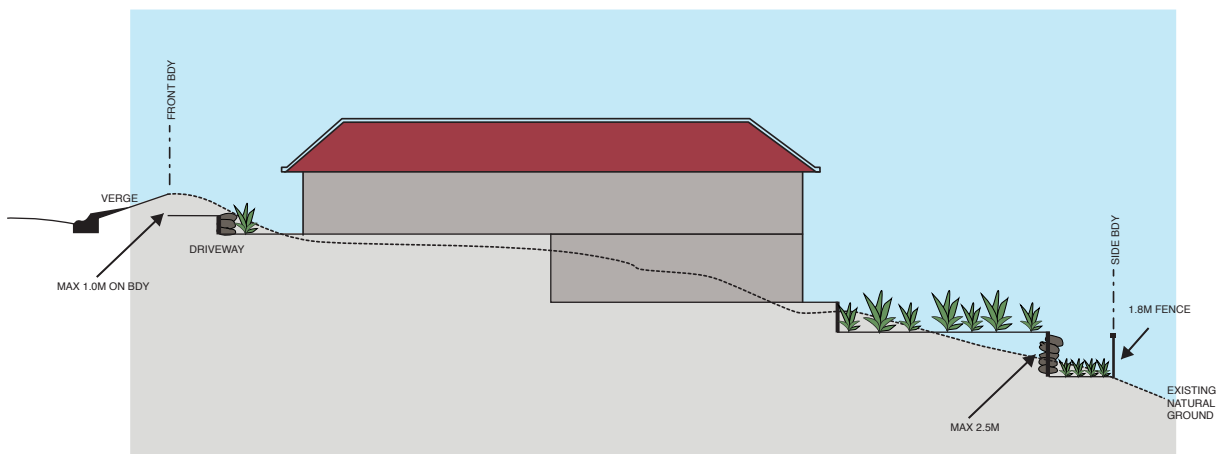
SIDE TO SIDE SLOPE



FRONT TO BACK 'UPSLOPE'



FRONT TO REAR 'DOWNSLOPE'



6 | Street Appeal



6.1 Home Facade

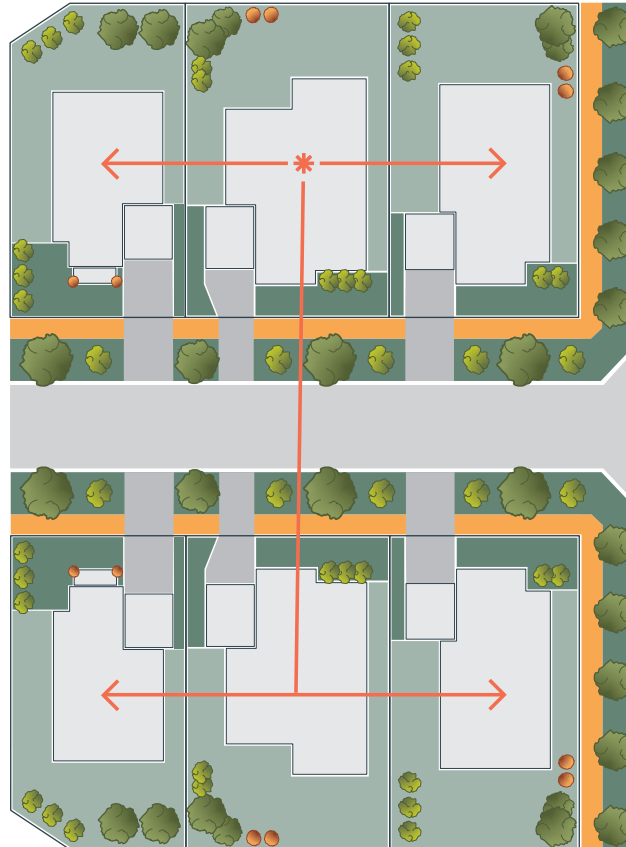
Intent

Newenham's overall design vision is for each house to be of a high standard and to exhibit architectural merit and diversity, to enrich the visual amenity of the streetscape, and to be sympathetic with the character, culture and climate of the Adelaide Hills to ensure the design is timeless and enduring. The Design Team will consider the architectural merit of the home facade against the Newenham Design Principles.

- Both traditional and more contemporary expressions of the Australian Homestead, Country Cottage or Barn are encouraged, and other architectural interpretations or expressions will be considered if they are considered to be in harmony with their surroundings and environment.
- Ⓜ Homes are to exhibit a character and form which is considerate of Newenham's Design Principles and avoids heavy, dominating features and material palettes that are considered to be overly urban in their character.
- Ⓜ Construction must allow for a combination of building finishes, textures and materials, as well as varying setbacks to the front facade (horizontal and vertical) which are considered to be well-balanced and proportioned and provide visual interest to primary and secondary street frontages.
- Ⓜ No more than 20% of the primary or secondary facade will be permitted to be a single blank wall.

- Ⓜ All homes must provide a well-articulated entry statement which clearly identifies the front entrance to the house.
- Ⓜ Front Facades must integrate either a porch, verandah, balcony or architectural feature of a usable dimension so that they become a functional outdoor seating space to accommodate at least a double bench seat or two outdoor chairs.
- Ⓜ Replica styles of housing such as 'Tuscan', 'Georgian' etc are generally not considered to be in keeping with Newenham's Design Principles and therefore are unlikely to be supported.
- Ⓜ Gutter profiles must match the architectural character of the home and will be assessed on merit by the Design Team.
- Ⓜ Homeowners must design their house so as to consider the scale and proportionality of the building from the street and neighbouring properties.
- Ⓜ No two houses that are the same shall be within a neighbourhood cluster, where a cluster is delineated by the following Diagram. The Design Team shall have absolute discretion to determine if two home are the same and this assessment will be based on roof form, colours, materials, verandah and portico styles and other architectural features. It is therefore recommended that you or your builder makes early contact with the Design Team to seek preliminary feedback on the home style that has been selected.

Cluster Diagram





6.2 Corner Allotments

Intent

To ensure the street frontage, which is inclusive of the secondary street frontage for a corner address, maintains a high standard of visual amenity whilst allowing corner allotments to maximise their private open space and maintain privacy within their property.

- M Corner allotment 'frontage zones' are depicted on the Building Envelope Plan.
- M Some corner allotments in Newenham are considered to be important landmark statements that have a significant impact on the streetscape. These allotments require two frontages of equal quality and architectural detailing and are noted on the Building Envelope Plan.
- M All other corner allotments must address both the primary and secondary frontage and the secondary frontage zone must provide articulation, materials and window/door openings which complement and are in balance and rhythm with the primary frontage.
- >> The floor plan should be well considered on corner allotments so that standard size feature windows with clear glazing can be incorporated within the secondary frontage zone.
- M No more than 20% of the primary or secondary facade will be permitted to be a single blank wall.
- >> Corner allotments may incorporate a secondary driveway access at the absolute discretion of the Design Team.



6.3 Window and Door Openings

Intent

To encourage well proportioned and quality window and door openings with a character relevant to the design of the home, that feel well balanced with each other and exhibit a strong rhythm along the façade, resulting in a timeless home design.

Outcome

- M** All street frontage facades must incorporate window and door openings which are vertically proportioned (typically height exceeds width). Alternatives to suit the character of the home can be considered on merit by the Design Team.
- M** Windows located on a frontage must be of a feature profile. Standard residential profile sliding windows are not considered suitable.
- M** Windows facing north and west are to include a shading device such as eave overhangs of 600mm or more, external screens or suitable planting.



6.4 External Materials and Finishes

Intent

To encourage front building facades to complement the natural environment through incorporating quality, local and natural materials.

Outcome

- M** Homes are to reflect a well balanced material palette particularly where viewable from the public realm.
- M** The front façade of the residence must be constructed with complementary materials that are part of the list of acceptable external materials for Newenham.
- M** Material selections will be assessed on merit. Alternative materials may be approved based on their consistency with the Newenham design vision.
- M** Highly reflective surfaces that cause glare are not permitted.
- M** Certain feature materials (i.e. Brick) used on the frontage may be required to continue around side walls to a suitable end point.
- >>** Homes should use materials that will weather well in their natural environment.
- >>** Natural materials such as timber and stone are encouraged.

6.5 Boutique allotments (frontage width of 13m or less)

Intent

To ensure houses on narrower allotments which maintain the streetscape appeal of Newenham.

Outcome

- M The front facade of all homes must not be dominated by the garage or carport. The main visual element from the streetscape should relate to the entry, front room(s) and the porch, veranda or balcony. The design of these elements must be consistent with the Newenham Guidelines to ensure that the overall appearance of the front facade is not overly bulky or urban.
- M The Front facade must have a well-articulated entry and porch that is integrated into the main design of the home. Narrow, tacked on porticos will not be permitted.
- >> If constructing a garage along the zero lot line, as indicated on the Building Envelope Plan, it is preferred that the wall on boundary is a parapet style or gable. However, an eave detail that changes depth to 0mm along the property boundary will be permitted.
- M The material on the boundary wall must be the same as that on the front facade of the garage wall as indicated above.
- M If a bench level or finished floor level is nominated on the Detailed Area Plan then it is mandatory that the dwelling is constructed as per this level and that retaining walls are constructed in accordance with these levels.

7 | Garages and Driveways

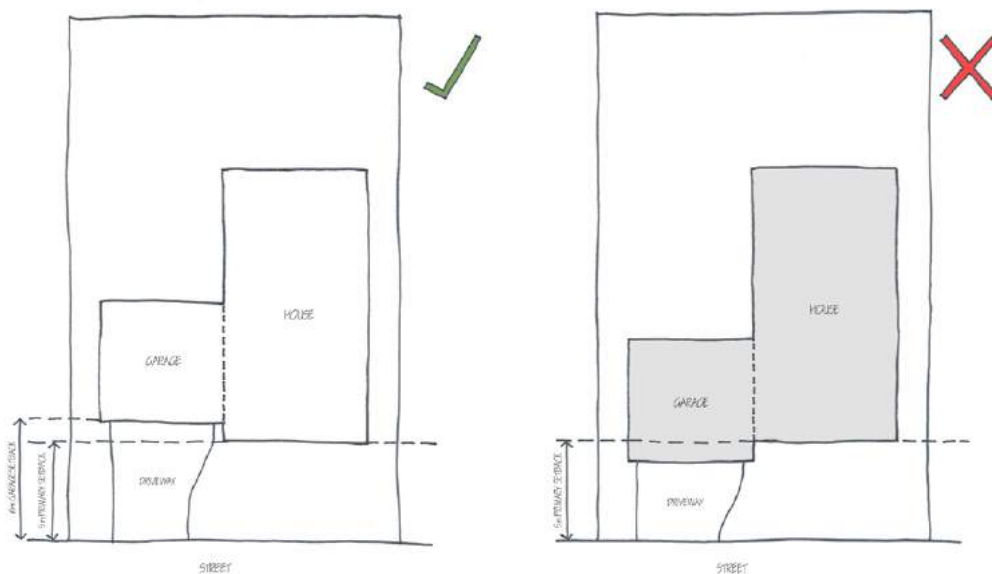
7.1 Garage / Carport

Intent

Newenham's design vision is to establish a soft streetscape. Domination of the street frontage by garages is to be avoided and garaged are to be well considered and balanced within the design of the home facade.

Outcome

- M** Garages must have a 6m minimum setback from a primary street frontage.
- M** Garages must have a 1m minimum setback from the front facade of your home.
- M** Carports may be allowed to be in line with the main building setback.
- M** Garages and carports must be integrated and reflect the architectural design elements, materials and colours of the main dwelling.
- M** Unfinished/unpainted fibre cement sheeting, galvanised iron or highly reflective finishes are not acceptable.
- M** All garage doors visible from public areas must be either a panel lift or tilt-up.
- M** To ensure visual amenity from public spaces and neighbouring properties, carport doors will not be permitted.



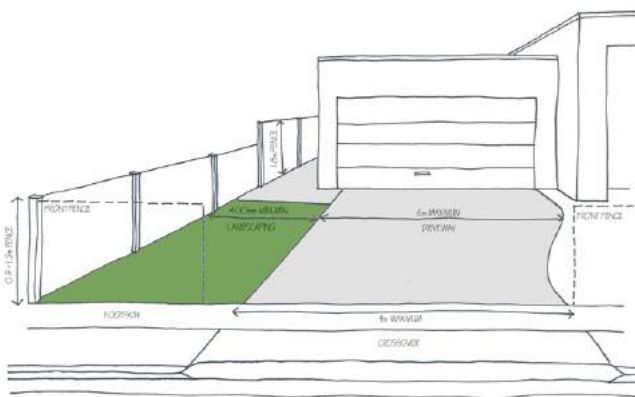
7.2 Driveway and Crossovers

Intent

Newenham promotes sustainable practices including minimising hardscapes to reduce the amount of stormwater runoff and to promote a soft Adelaide Hills street aesthetic.

Outcome

- Ⓜ Only one driveway is permitted per allotment unless approved upon merit by the Design Team.
- Ⓜ Driveways must be no wider than 6 metres for double garages, splayed from a single crossover with maximum width of 4 metres at the property boundary.
- >> If a 5.0m wide driveway is preferred the front fence is required to be set 500mm from the front property boundary and this area is to be landscaped.
- Ⓜ There must be at least 400mm of landscaping between driveways and side boundaries. 1m of landscaping is preferred where possible to create a buffer between properties.
- Ⓜ Driveways must have a minimum slope gradient of 1:8. A gradient of 1:5 will be only permitted where necessary.
- >> The use of permeable materials for the construction of driveways is encouraged.
- Ⓜ The use of plain concrete or asphalt will not be permitted for driveway construction, however, concrete with exposed aggregate is acceptable.
- Ⓜ The crossover (portion between the kerb and the property boundary) must be a maximum of 4m wide and is preferably constructed of the same material and colour as the footpath material (charcoal concrete).
- >> Properties that do not have a footpath in front of their boundary are permitted to match their crossover material to their driveway.
- Ⓜ Driveways and crossovers must be constructed to avoid service pits.



Recommended Driveway Materials



Gravel with stone edge transition



Concrete with exposed aggregate



Permeable paving with grass or gravel in between

8 | Landscaping



Intent

Soft and abundant landscaping and feature front fencing creates a unique character for each home and is one of the most significant factors in achieving a natural Adelaide Hills environment at Newenham.

Outcome

To help you achieve the required Newenham landscaping vision, the Design Team can make available a selection of predesigned garden concept plans for you to choose from, which can then be detailed to your specific allotment. Please enquire if you would like to consider a pre-designed plan. Alternatively you can submit your own landscape design in accordance with the following minimum requirements:

- Ⓜ 1 tree for every 30m² of your front yard (excluding driveway).
- Ⓜ 1 plant every 1m² for minimum 25% of the total area of front yard (excluding driveway).
- Ⓜ Solid (nonpermeable) surfaces covering more than 50% of the front yard will not be permitted.
- Ⓜ Synthetic lawn is not allowed in the front garden or on the verge at Newenham.
- It is highly recommended that you plant directly behind the front fence, a species which extends up to a height that matches or exceeds your front fence to further enhance the country aesthetic.
- Lawn which is appropriate for the site conditions.
- Deciduous plants provide shade to windows during summer and let sunlight in during winter
- Feature screens or water features which add interest.
- All species selections should reflect the Newenham vision and be suitable for the site conditions
- Gardens should be designed for water efficiency.
- Consider edible plants and gardens.

Acceptable Front Fence Profiles



Contemporary Architectural Vertical Timber Posts



Contemporary Architectural Vertical Steel Posts



Limestone/ Sandstone / stacked stone wall



Country Timber and Mesh



Heritage Timber Post and Wire



Hedge*



Traditional Timber Picket



Modern Timber Picket



Contemporary Aluminium Slat Fence



Contemporary Timber Slat



Country Timber Post and Rail



Country Timber Cross Rail

* Hedge species must be selected from an approved list provided in the Landscaping Guidelines.
Wire frame structure must be constructed during planting to ensure hedge will evolve to required height and density.



8.2 Front Verges

Intent

Newnham is dedicated to planting abundant landscaping in the street verges as a key to delivering an authentic Adelaide Hills aesthetic, but also because of the environmental, bio-diversity and community benefits that verge planting offers. Burke Urban makes a significant investment in to planting these verges and they are an instrumental factor in delivering the Project Design Vision. The verge ultimately becomes the entry feature to every home at Newnham and the prosperity of these verges will eventually support growth in the value of community.

Outcome

- M** Newnham will plant street trees soon after the construction completion of each stage to allow these trees time to mature and become established.
- M** Newnham will plant the street verges upon substantial completion of the homes on a street, which can be some 1 to 2 years after the completion of civil construction of a stage of development.
- >>** Whilst these street trees and verge plants are technically the responsibility of the Council after the first year of establishment it is highly recommended that each home owner considers these street trees and verge plants as their own, and waters, weeds and cares for this space in the same way you would your own front garden to maximise the appeal of the project and the opportunity for growth in your investment.

9 | Fencing & Gates








9.1 Boundary Adjoining

Street Frontage

Intent

The Newenham vision is to establish a contemporary country style neighbourhood with front fencing, or hedging and plantings.

Outcome

-  Fencing along the street frontage boundary is required to all allotments to support the Newenham Design Vision and in accordance with the Design Principles.
-  Front fencing constructed at ground level must be a minimum 0.9m and maximum 1.2m.
-  If a retaining wall is required on the front boundary it must be a maximum height of 1m and must have a fence or hedge of minimum 0.9m and maximum 1.2m on the top of the wall.
-  If constructing a gate, it must match or complement the adjacent fence.
-  Street frontage fencing and gates must be constructed of an acceptable material and profile and be in keeping with the character, style and colour palette of your home design. See the table of acceptable fence profiles.
-  Alternative fence options, types and heights may be considered and will be assessed on merit.
-  The Design Team can offer a range of other fencing options for individual consideration.



9.2 Letterbox

Intent

To avoid the construction of unsightly stand alone pillar letterboxes that offer no visual amenity.

Outcome

- Ⓜ The letterbox must be located adjacent to the driveway or front gate and clearly numbered for access by the postal service.
- The letterbox should match or complement the residence and be integrated into the front fence where possible.

9.3 Boundary Adjoining a Neighbour or Reserve

Intent

To ensure a high standard of visual amenity to adjoining properties and public spaces.

Outcome

- M** Side or rear boundary fences must be constructed at a height of maximum 1.8m high above ground level.
- >>** A side fence or gate which is in line with the front of your house is permitted to be 1.8m high to allow privacy to the side and rear yard.
- M** Side and rear boundary fencing must be Good Neighbour® Colorbond® (or equivalent) in 'Woodland Grey' in the CGI Corrugated profile with a maximum height of 1.8m above ground level.
- M** Side boundary fencing forward of the dwelling is to have a maximum height of 1.2m and constructed of Good Neighbour® Colorbond® (or equivalent) in 'Woodland Grey' in the CGI Corrugated profile.
- M** Gates along a boundary which adjoins a reserve will be allowed as long as they match or complement the fence adjacent to the gate.
- M** If the developer requires a certain style of fencing or walling along an allotment boundary this will be included on the Building Envelope Plan. Developer provided fencing cannot be altered or removed.



Image: Good-Neighbour® Colorbond® CGI corrugated profile in Woodland Grey.



9.4 Corner Allotments Adjoining a Street Frontage

Intent

To ensure the street frontage maintains a high standard of visual amenity whilst allowing corner allotments to maximise their private open space and maintain privacy within their property.

Outcome

- Ⓜ A front boundary fence on a corner allotment must return along the secondary street boundary to a minimum of 30% of the lot depth, be built to a height of 0.9 - 1.2m and must match the front boundary fence treatment.
- Ⓜ The remainder of the side fence must be a maximum of 1.8m in height and take up no more than 70% of the secondary street boundary.
- Ⓜ Other fence profiles may be submitted and will be assessed on their merit against the Newenham vision.

10 | Outdoor Space

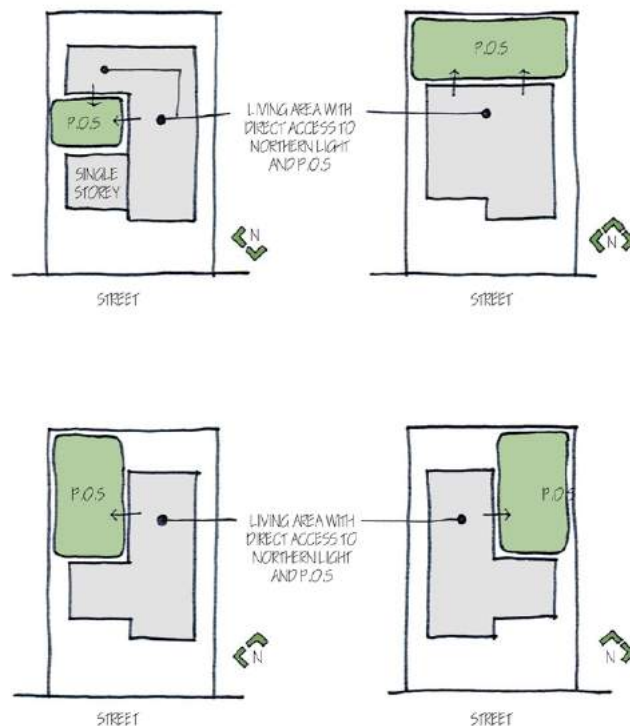
10.1 Private Open Space (POS)

Intent

Private open space is an important part of wellbeing and should be located to achieve Newenham's passive design objectives.

Outcome

- Where possible, private open space should be located to the north of the site to access the northern sun.
- Ⓜ Located with direct access from the internal living areas (living room, dining room, or kitchen).
- Designed to take advantage of the natural features of the site and to allow winter sun and summer protection.
- To not be significantly shaded during winter
- To be partially shaded in summer
- Ⓜ Private open space, including covered outdoor living areas, should have a minimum dimension of 4m wide. This area excludes front yards, driveways, or utility areas such as rainwater storage.
- Ⓜ All private Open Space requirements are assessed by Council.



10.2 Easements

- Ⓜ Easements contain important community services and are not to be built upon. Your allotment's Building Envelope Plan should indicate if you have an easement.
- Easements may be paved or established with gardens of approved tree species of not more than 3m high.
- For more information contact Mount Barker Council or download the Mount Barker Council Fact Sheet for Easements.
- All assessment regarding structures or landscaping within an easement will be assessed by Council.

10.3 Outbuildings

Intent

Newenham is determined to provide visual amenity for all properties and residences. Outbuildings play an important part in delivering this vision.

Outcome

- Ⓜ External walls of buildings must be a maximum height of 2.4m above ground level for a minimum of 2 sides and roofs must be pitched at 15°.
- Ⓜ Flat roof design will be assessed based on architectural merit which would take into account public visual amenity, bulk, scale and integration with the main dwelling.
- Ⓜ Overall height of the roof pitch or parapet must not exceed 3.5m.
- Ⓜ If the outbuilding is located next to a street boundary or public space, the roof must be pitched in a direction to minimise the building bulk apparent from public spaces.
- Ⓜ Outbuildings must complement the existing residence in relation to external appearance and quality of construction.
- Ⓜ Outbuilding and structures that exceed 20 square metres are generally not permitted, but may be approved if they match the external appearance and quality of construction of the main residence and are sited on larger allotments.

11 | Privacy

11.1 Overlooking

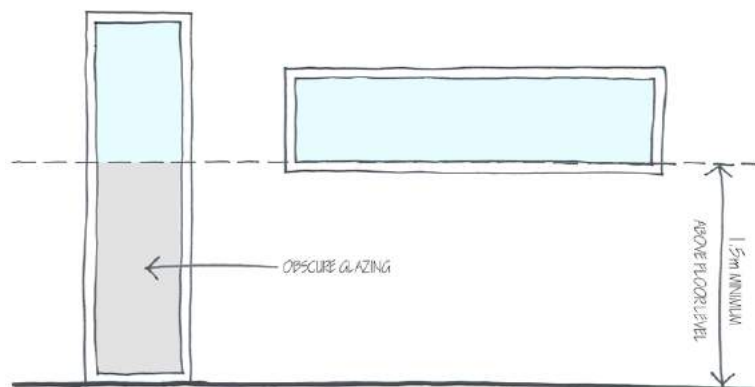
Intent

To encourage design that does not distract from your neighbour's amenity and privacy.

- Ⓜ All overlooking matters are assessed by Council, but generally the following requirements are true.

Outcome

- Ⓜ Direct overlooking from upper level habitable areas should restrict views within a horizontal distance of 15 metres to adjacent windows and 30 metres to outdoor areas, consistent with Council's Development Plan.
- Ⓜ A minimum of 1.5m high opaque or semi opaque material is to be installed to windows and balconies which directly overlook into adjacent dwellings, consistent with Council's Development Plan.



12 | Services

12.1 Services For Home

Air Conditioners and Evaporative Coolers

- M** Must be installed so that they are not viewable from the street.
- M** If installed on the roof, units must be below the ridge line, located on the rear section of roof and of a similar colour to the roof.
- >>** All appliances should be energy efficient.

Rain Water Tank

- M** A rainwater tank or tanks are to be installed to meet relevant statutory requirements.
- M** The installation of rainwater tanks are to be located and designed to minimise the impact on street amenity.
- >>** The rainwater tank or tanks should be located beside the residence or integrated into the design of the building.

TV Antenna and Satellite Dish

- M** The installation of tv antennae and satellite dishes are to be located and designed to minimise the impact on street amenity.
- M** TV antennae are to be generally hidden from view, within the roof space, or to the rear of the roof, wherever reception permits.
- M** Where a TV antenna must project above a roofline to access the direction of reception, the maximum projection is 0.5m..

Energy System

- >>** Please ensure that your builder is familiar with the installation, wiring and connection requirements for any energy system.
- >>** The installation of solar panels are to be located and designed to minimise the impact on street amenity.
- >>** Solar collectors should not be visible from public spaces unless there is no other location which affords suitable solar exposure. In these circumstances, they should be installed on the plane of the roof, and panels kept to a minimum in near formation

Rubbish Bins

- M** Rubbish bins must not be visible from public areas except on rubbish collection days. Consideration should be made for locating them in an acceptable/screened area.

Clotheslines

- M** Clotheslines must not be visible from public areas.

13 | Connections



13.1 National Broadband Network (NBN)

The National Broadband Network (NBN) offers a higher speed and more reliable internet by using fibre optic cabling. Newenham has integrated appropriate infrastructure so that each allotment can connect the telephone and internet to the NBN.

- Ⓜ Please ensure that your builder is familiar with this installation, wiring and connection.

13.2 LPG Gas

- Ⓜ Newenham has integrated LPG gas connections to every allotment and it is mandatory that each house be connected to the LPG system.
- Ⓜ Mandatory provisions are required for the connection of the hot water service and barbecue.
- It is also recommended that cooktops and heating be connected or have provisions for connection to the LPG gas.



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